

***TECHNICAL SPECIFICATION***

***FOR***

***PHASE 1***

***MECHANICAL & ELECTRICAL SERVICES***

***ASSOCIATED WITH THE REFURBISHMENT &***

***FUTURE SUSTAINABLE SCHEME OF THE EXISTING***

***2<sup>nd</sup> Floor PLANTROOM***

**Chichester City Council  
The Council House  
North Street  
Chichester  
P019 1LQ**

Ref: Peter Roberts  
Date: 6<sup>th</sup> July 2022  
Revision: C



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**SECTION 1.0**  
**GENERAL REQUIREMENTS**



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## 1.1 Introduction

This specification is to form the intended minimum standard of works and materials that will be accepted for the project Supply, Installation & Setting to Work.

As a General Specification not all definitions will relate to the specific project requirements but shall cover any parts that concern the project requirement detailed.

This Specification should be read and referenced in conjunction with the main contract schedule documents to form part of the Tender Invitation.

Where any conflict between the General Documents & Clauses are found to the Specific Works, the Specific Works Details shall be followed.

All Works shall comprise of the entire Labour and all necessary materials to form a complete operational installation, to include Testing & Commissioning of all specified systems installed under the project specifications, as well as any or all necessary materials or equipment not detailed with this specification to achieve full completion.

## 1.2 Definitions

The following definitions and terms shall be taken to mean as described below;

'The Contractor' the person, company or firm confirmed as being the principal or main contractor appointed.

'The Sub-Contractor' the person, company or firm nominated by the Project Manager or Contractor to carry out any specialist works employed on their behalf.

'Approval' shall mean approval given in writing by the project engineer or consultants identified within the contract or specification details unless confirmed otherwise.

'Approved or equal' will be used within the Project Specification or Drawings and shall be taken as being the preferred unless 'Approved' by the Design Engineer or Consultant.

'Supply' shall mean the supplying, fixing of all connections, testing, commissioning and leaving in a correct working order.

'Consulting Engineer' shall mean the person appointed by the Client to act as their representative.

'Project Manager' shall be the person nominated by the Client to act as the representative managing all project aspects and issuing instructions.

## 1.3 The Site

Is detailed as 'THE COUNCILHOUSE, NORTH STREET, CHICHESTER, PO19 1LQ.  
Replacement & Adaption for Future Scheme of the Existing Plantroom Boilers.

## 1.4 The Project

The schedule listed below is an indication of the services covered in this package of works, it is not intended to be comprehensive in every detail:-

- New 2no. Wallhung Gas Fired Boilers
- LTHW Heating Pipework adaptations & replacement including Plant, Pumps & Valves
- Mechanical Ventilation
- Cold Water Systems
- Hot Water Systems
- Foul Waste Systems
- Controls
- Review of Expansion & Pressurisation



- Small Power & Power Supplies
- Review of Existing Gas Safety System
- Earthing & Bonding

## 1.5 Regulations

The Whole works shall be carried out in full accordance to the latest editions of all relevant statutory regulations to include as follows;

- The Electricity, Gas, Oil & Water Regulations
- The Building Regulations
- The Health & Safety at Work Act & Regulations
- The Factories Act & applying Regulations
- The Place as Work Act & applying Regulations
- Local Byelaws & Regulations
- The Clean Air Act
- The Utility Companies any special requirements
- The Local Authority requirements
- Construction Regulations 2015
- All European & British Standards
- Codes of Practice
- CIBSE Guidelines & Codes
- The Electrical Engineers Installation Regulations (IEE) to the 18<sup>th</sup> Edition & amendments
- The Heating & Ventilating Contractors Association Regulations (HVCA)

## 1.6 Design Codes

The design shall be based upon the CIBSE guidelines & manuals to follow Codes of Good Practice with particular reference to;

- Environmental Design
- Heating, Ventilation, Air Conditioning & Refrigeration
- Data Reference
- Transportation Systems
- Fire Safety Engineering
- Energy Efficiency
- Public Health Engineering Services
- Building Control System
- Weather, Solar & Illuminance
- Electricity in Buildings
- Sustainability
- Maintenance & Management Engineering
- Lighting

## 1.7 Contract

To be referred to the Main Contract

## 1.8 Programme

The Contractor should provide a programme relating to all the M&E services.

The programme should identify the duration of each identified part as well as areas in each part, specify start & finish dates for either each part or activity, indicate any critical works and any temporary works.

Show time periods and dates applicable to Testing & Commissioning.

Programme to be agreed with the Client Project Manager with any shutdowns & handovers. The programme shall be used as a means for all project meetings and progress reporting.



## 1.9 CDM

The project shall be carried out in accordance with the Construction (Design & Management) regulations 2015. The Contractor shall carry out the duties to ensure full compliance and in accordance with the nominated project Principal Designer.

## 1.10 Restrictions

The Contractor and their Sub-Contractors shall submit a full project Risk Assessment & Method Statement (RAMS) to show setting out of proposals for all works to prevent any nuisance or danger to any persons on or adjacent to the site.

The Contractor shall operate a strict Health & Safety Policy for all persons working on the site, to include any permits for defined At Risk works, with all persons working and attending site to be easily identifiable.

## 1.11 Liaison

The Contractor and his Sub-contractors shall allow for all costs involved in attending any Site Meetings with the CA, Client & Design Consultants. These meetings shall inform cost progression, works programme, design and administration.

The Contractor shall advise in writing a minimum of 14 days before any request to interrupt or disconnect any Services or Access to site.

Any works outside of normal working hours and/or at weekends shall be requested in writing a minimum of 14 days prior to being carried out to ensure Client is fully aware.

## 1.12 RAMS

The Contractor shall produce and Issue to the Principal Designer a full Risk Assessment & Method Statements relating to the works being carried out as part of the CDM Regulations requirements for approval and comment. RAMS should be submitted 14 days prior to commencing any works, No works will be permitted without approval of RAMS.

RAMS shall include for the provision but not necessarily limited to the following;

- Erection & Use of Access Towers, Platforms & Staircases
- Extraction of fumes in enclosed spaces
- Hot Works
- Working in confined spaces
- Protection of New & Existing Structure, Appliances & Equipment
- Craneage
- Hoisting & Positioning of Plant or Materials
- Noise & Vibration Control
- Working on Electrical Services
- Working on Mechanical Services
- Structural Alterations
- Fire Prevention of New & Existing
- Removal & Strip Out of any parts or Items
- Modification of any Building Services
- Management of Plant & Work Areas
- Permits for Specific Works
- Testing, Commissioning & Setting to Work

## 1.13 Design & Production

The Contractor where required shall provide Design/Production detail prior to and during the contract term, the contractor should ensure the works programme has due allowance for any Design/Production required. Any Design/Production detail shall be submitted to CA & consultants for comment & approval prior to proceeding with any works.

## 1.14 Performance Specified Systems

Specific Items identified to be developed and designed to achieve a full operating system are as follows;

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- Fire Security & Alarm Systems
- MCWS
- LTHW

## 1.15 Tender

The Tender shall include for the full Supply, Installation, Connection, Testing & Commissioning of all works in principle to any attached Drawings, Specification & Schedule with any further instructions during the works to provide a complete working installation to the satisfaction of the Client Consultants.

The Specification & Schedules are to be read Inconjunction with the Drawings presented at the time of the tender, with any discrepancies or errors between Drawings and/or Specification noted and brought to the CA attention who will instruct on the detail to be followed.

It shall be deemed that any submitted tender shall of taken into account all Drawings, Specification & Schedules prior to submission.

Any additional claim for costs from the Contractor arising from failure to identify any parts of the Drawings or Specification will not be accepted.

Should the Contractor require any additional information in order to complete there tender then a request should be made in writing to the CA.

The Contractor prior to submitting the tender, be well advised to familiarise themselves with the full site location and areas of works which may affect any part of the costs involved in there tender. Any claim for additional costs due to lack of knowledge shall not be accepted.

The Tender shall include for all works shown and identified on the Drawings & Specification, any omission or alteration from required instructions may render the tender as void.

## 1.16 Site Survey

The Contractor shall of been deemed to have visited all areas involved in the works and the site as a whole, to ensure a full understanding of layout, access, conditions & any other matters. The Contractor shall ensure all site measurements and schedules as prepared in the Drawings & Specification are correct.

Any existing services damaged by the Contractor as a result of not carrying out a site survey shall be repaired at the Contractors own cost.

## 1.17 Quotations

Where Suppliers, Manufacturers and Specialist Contractors are detailed in this Specification, where a reference is shown shall mean they have been contacted regarding the project and have provided a Quotation, this is for the Contractors tender reference only, final design development and changes may have occurred, so it shall be important the Contractor ensures the quotation is up to date with the Tender Specification & Drawings.

Any changes after the Tender period once the project has been awarded shall be agreed by the CA & Client prior to ordering with any cost alterations.

## 1.18 Variations of Works

Any Variation or assumed variation shall be notified to the CA & Consultants for agreement prior to commencing any of the works. No variation shall be paid for without prior approval or agreement.

## 1.19 Site Conditions

It shall be assumed the Contractor and there Sub-Contractor(s) has visited the site before tendering to ensure they have a full knowledge of the site.

## 1.20 Progress & Supervision

The Contractor shall on award of the project ensure all Mechanical & Electrical works on site are supervised and carried out by fully skilled & qualified persons, with any unskilled labour not being more than one to each skilled operative.

All works shall be managed correctly and inspected at least once a week, with attendance to any general or design meeting requested.

The Contractor shall ensure a nominated site manager/senior supervisor is available at all times for any Mechanical and/or Electrical work issues that may arise.





## 1.21 Materials & Workmanship

All works shall be carried out as specified or to the satisfaction of the Consultants inline with the prevailing regulations.

All work shall comply to the best code of practice and carried out by fully competent tradesmen with suited qualifications.

All materials & equipment shall be new and correct for use as the manufacturer has set out.

The consultant shall reserve the right to reject any materials they may believe are inferior or not complying with this Specification.

## 1.22 Alternatives

If the Contractor and their Sub-Contractor(s) decides to use alternative Suppliers/Manufacturers to those laid out in this Specification, they should note the potential change and reason for using the alternative.

The Contractors tender should not be based on this change as the Consultant reserves the right to reject any potential alternative.

## 1.23 Samples

The Contractor shall provide free of charge any samples of materials to the Consultant upon request.

## 1.24 Other Trades

The Contractor shall ensure all trades are co-ordinated to suit timing of works and setting out of service runs to avoid any clashes with all other Building Works & Architectural Designs.

No claims for additional costs will be accepted in respect of work which is necessary due to lack of co-ordination or poor management on site.

## 1.25 Existing Services

There are existing services which will be re-used or adapted only. It is proposed that all services shall be existing only to the building.

## 1.26 Temporary Works

The existing services on site are to be used. The Heating is not required prior to September so all works should be completed before the need for Heating within the building, Domestic Services are locally PoU so do not effect the present building at this phase.

## 1.27 Damage

The Contractor shall ensure adequate protection to all the existing & new installations, furniture, furnishings, fittings, surfaces & decorations which maybe exposed to damage during the works.

Where Works entail Renovation & Refurbishment of old buildings so does mean that care of the existing is paramount.

## 1.28 Removal of Rubbish & Materials

The Contractor shall be responsible for all rubbish created on site by staff or sub-contractors, the site shall be left tidy with any rubbish removed by means of suitable waste disposal. Upon completion of the project all rubbish and materials left on site shall be disposed of by the Contractor to the satisfaction of the CA.

## 1.29 Setting Out

The Contractor and there Sub-Contractor(s) shall ensure the accuracy of all setting out to suit Architect & Clients designs all measurements should be taken from actual site and not from any drawings.

## 1.30 Working Drawings

The Contractor shall where requested provide working/construction drawings which should indicate the general intention of the fully co-ordinated works with the intended new services.

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Copies should be made available on site and for the project Design Consultants, all items should be clearly labelled with suitable description & specification.

**There is no intention on this project.**

## 1.31 Testing & Commissioning

The Contractor shall provide notice of all commissioning of plant, equipment and systems to allow Consultants attendance should they feel it necessary or wish to do so.

All Complete Mechanical & Electrical installations both New and Existing shall be tested at completion to the recognised codes and demonstrated to the satisfaction of the Client & Consultants. A record of all testing during each part of the project shall be made available for inspection and attached to the O&Ms.

## 1.32 Client Training & Handover

Prior to Handover the Contractor shall provide full demonstration and operation of all Mechanical & Electrical Installations in all areas to allow a full understanding to the client for use and maintenance. Handover will not be accepted until this has happened to the complete satisfaction of the Design Consultants.

Prior to Handover the Contractor at the time of training provide a list of Maintenance Items required for the next 24 months which can be attached to the O&Ms.

## 1.33 Record Drawings and O&Ms

The Contractor and their Sub-Contractor(s) shall provide a fully detailed set of Mechanical & Electrical 'As Fitted' Drawings as well as all installation and operating instructions as presented in an O&M document. The O&Ms shall include any existing services and routes identified during the period of the works, where areas are exposed, a photographic record shall be taken prior to closing off any parts.

All Drawings shall be produced to A1 size with all description and detail shown, the Contractor shall provide a laminated and framed A3 size Drawing of all Plantroom & Consumer Unit areas.

O&Ms shall include the following;

- Individual detailed description of each installation
- Schedule of all Plant and Equipment with details of Manufacturer, Type, Model & Duty
- Instructions for the Servicing and Maintenance of all Installed equipment
- Copies of all Test Records & all Certifications & Commissioning Documents
- Full set of all Record Drawings

The O&M Manual shall be presented in a hard backed ring binder with title and index, prior to issue provide a draft submission for approval. On approval provide 2no. copies of the complete O&M file.



## **SECTION 2.0**

### **MECHANICAL REQUIREMENTS**

ITEM	DESCRIPTION
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2.1	Scope of Works
2.2	General
2.3	Health & Safety with CDM Regulations
2.4	Tenders
2.5	Variations
2.6	Provisional Sums (PC Sum)
2.7	Suppliers & Specialist Suppliers
2.8	Services Description
2.9	Inspection, Testing and Commissioning
2.10	Completion and Handover
2.11	Design Parameters
2.12	LTHW Heating Services
2.13	Ventilation
2.14	DWS Services
2.15	Grey & Rain Water Service
2.16	Above Ground Foul Drainage
2.17	Below Ground Foul Drainage
2.18	Rain and Surface Water Drainage



## 2.0 General

All Mechanical works shall include all labour and materials necessary to provide a complete working system, with all required testing & commissioning of all systems to all areas.  
All works shall be carried out to the relevant codes of practice and regulations.

### 2.1 Scope of Works

This Specification relates to all Works Required to carry out the Following;

- Phase 1 Scheme & Adaptions
- Replacement of the existing gas fired boilers & flues
- Adapt existing LTHW Heating Plantroom scheme to revised Design
- Adapt Gas Supply to suit new equipment

A brief scope of works is intended to give the Contractor an indication of the main works required, it should not be taken as being comprehensive in all details;

- I. Preliminaries, Design & Management
- II. MCWS
- III. Above Ground Foul Drainage
- IV. Ventilation
- V. LTHW Heating
- VI. Gas Works
- VII. Fire & Gas Safety
- VIII. Testing & Commissioning
- IX. Record Drawings & O&Ms

The Project consists of the following;

#### 2<sup>nd</sup> Fir PLANTROOM

This is an existing attached Heritage building of various ages and significant local historical importance providing office and general public amenity & function areas over mainly two floors; Ground & 1<sup>st</sup> Flr. The existing LTHW Heating is to be adapted to allow for the replacement of the existing Boilers and concept designs for Energy Efficient & Sustainable Schemes to be added in the future.  
Principal aim is to allow for short term Heating replacement via Gas Boilers as at present, with the aim in future phases to utilise Heat Pump & Solar as Primary Heat Sources to significantly reduce overall running costs and the reliance of fossil fuel energy.

## 2.2 General

This Specification is to set out the standards of workmanship and materials to be used for the Mechanical Services Installation.

All Materials & Equipment shall comply with current British Standards including amendments within the United Kingdom to BS EN criteria.

## 2.3 Health & Safety with CDM Regulations

All Works shall comply with the statutory Health & Safety Regulations as issued by the HSE.

The Main Contractor shall ensure the principal Construction Regulations shall be complied with in the execution of all work being carried out as taken by the Principle Contractor. All works carried out throughout the whole term of the contract shall include for every reasonable precaution and provision for the safety of all persons concerned in the working operations on site.

The Principal Designer shall oversee the Health & Safety Procedures and form a Health & Safety Plan for the project. The Principle Contractor shall appoint a responsible person to co-ordinate and produce the Health & Safety Plan to ensure the following;

- Delivery of All Equipment & Materials to Site
- Off loading and storage of equipment & materials on site
- Handling of Equipment, Materials & Tools for works on site



- Any Hot Works
- Access requirements for works on site
- Any Potential Hazards
- Training & Instructions for working on site
- Warning Notices & checking Procedures
- Reporting & Reprimand Procedures

It shall be the Main Contractors responsible person to ensure all personal working on site are aware and adhere to all procedures and conform to them.

Any identified concerns for Health & Safety on site shall be dealt with immediately and potentially requesting any person(s) to leave site who is or has not conformed to any safe working practice(s).

## 2.4 Tenders

All Mechanical Tenders shall be submitted based on the specification provided including any identified manufacturers. Mechanical Tenders shall follow the Summary of Tender Breakdown as provided within this specification.

The Tender shall include for all consequential costs associated with statutory and local authorities requirements. It shall include for all necessary Labour, Equipment, Tools and Materials required to carry out the complete works.

The Client or CA does not undertake to accept the lowest of any tender and 'No' payment shall be made in respect of costs incurred in connection with the preparation of the tender.

Where Mechanical Contractors wish to submit alternative suppliers or manufacturers these shall be submitted as an accompanying document relating to any effect on the Main Tender Costing.

Tenders submitted which do not comply with the above requirements will potentially be rejected.

Where necessary the tenderer may be required to submit Schedule of Rates where a cost needs explanation.

PLEASE NOTE REQUIRED SPECIFIC TENDER PROCESS BY THE CLIENT IS AS FOLLOWS;

**In compliance with Standing Orders (local authority rules) we need to invite a minimum of three contractors to quote. Said tenders must be submitted in plain, sealed envelopes marked "TENDER" followed by the subject to which it relates (Phase 1 2<sup>nd</sup> Flr Plantroom Boiler Replacement).**

**The envelopes need to be addressed as follows;**

**The Town Clerk  
Chichester City Council  
The Council House  
Chichester  
PO19 1LQ**

**Tenders shall be received by Thursday 21<sup>st</sup> July 2022**

**The tenders are then to be held unopened by the Town Clerk until the appointed date/time then opened in the presence of the Town Clerk and Chairman or Vice Chairman of the Finance Committee.**

**APPOINTED DATE TO BE OPENED AFTER MIDDAY ON Friday 22<sup>nd</sup> July 2022**

## 2.5 Variations

If any works of labour and/or materials are deemed as a Variation from the original Contracted Works, instruction(s) must be confirmed and agreed with the CA.

Any Identified Variations shall be priced & specified to allow agreement to secure authorisation for payment.

Any work carried out by the Main Contractor as a variation without agreement from the CA will not be guaranteed for any payment.

## 2.6 Provisional Sums (PC Sum)

To be Detailed and Listed as Required or Identified.

## 2.7 Suppliers & Specialist Suppliers

All equipment from suppliers/manufacturers that has been selected within this specification shall be verified by the Main Contractor and their Mechanical & Electrical Installers as suitable for the proposed site

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requirements. Where any alternative or modification is required from the original specification the Main Contractor shall provide information and any cost variations for agreement by the CA.

## 2.8 Services Description

The Mechanical & Electrical Installers shall produce design drawings to allow for co-ordination of services as well as identify necessary Builders Works. These shall be the form of working drawings for approval by client consultants & designers.

## 2.9 Inspection, Testing and Commissioning

The entire works shall be inspected, tested and commissioned in accordance with all relevant British Standards and CIBSE or BSRIA Codes of Practice as well as the details provided in this specification to the full satisfaction of the Consultant and CA.

Installations should be inspected & tested as periodic works proceed with suitable approved test certificates issued and witnessed as and where necessary.

No areas of work shall be insulated or concealed in any way prior to be tested and verified, all equipment shall be commissioned to suit manufacturers instructions and where necessary be carried out by qualified or specialist commissioning company to ensure full warranty requirements.

## 2.10 Completion and Handover

The Mechanical & Electrical Installer shall produce all required information to complete As Fitted drawings with all equipment detail and instructions to present as the complete 'Operation & Manuals Folder' with 1no. Hard Copy and 1no. Digital Copy.

Record Drawings shall be produced to a scale of 1:50 with Specific & Plantroom Drawings to a scale of 1:20 All documents shall meet requirements of the Building Regulations Approved Document and in accordance with CIBSE templates.

Prior to full Completion of the final works all the above information shall be provided to the project CA for approval and confirmed dynamic settings/programmes. An agreed client operational handover and demonstration date shall be confirmed for all equipment to achieve practical completion.

## 2.11 Design Parameters

For general design purposes as published within CIBSE guidelines this specification basis is for External Temperature Conditions of

Summer 30°C db and 21°C wb

Winter -4°C

Internal Temperature Conditions

Winter 21°C Summer 20°C (Based on Rooms with Cooling)

Infiltration Rates should be taken at 0.5AC/h for New Build and 2AC/h for Existing Buildings. Stables N/A.

Ventilation shall be based on Continuous Systems throughout all Buildings where fitted with 1AC/h but 3AC/h to all Wet Areas.

Noise Levels while no Condition is Stipulated a Design Basis should be on a Maximum of 35dB.

Ventilation shall comply with Part F of the Building Regulations with principle Supply & Extract performance to provide a sustainable method of heat recovery of each area.

Noise levels to not exceed NR35.

## 2.12 LTHW Heating Services

The Existing Plantroom is located on the 2<sup>nd</sup> Flr (or accessible rooms in the roof space), and split between two rooms. The 1<sup>st</sup> Room contains a single wallhung gas fired boiler with the primary LLH and pump unit prior to system distribution and pipework through wall to the 2<sup>nd</sup> Room next too. The 2<sup>nd</sup> Room contains two further wallhung gas fired boilers with general distribution pipework and secondary pump unit, as well as system plant including the expansion and controls panel etc.

Allow for system to be simply flushed through and drained with test results provided, as it is understood the existing system is well maintained and should be of acceptable water quality.

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Allow to Drain the Plantroom part of the system, as there is no intention to alter or effect the existing LTHW Heating System within the building.

Allow to strip out all 3no. Gas Boilers, primary pipework, shunt pumps, primary pump and LLH, as well as Gas Supply taken back to main supply prior to branch offs.

Proposal will be to install 2no. Wallhung Boilers within the 1<sup>st</sup> room, each to be individually flued through the roof.

Each Boiler shall be fitted with standard shunt pump set with 42mm F&R connections into a new 65mm Primary Horizontal head allowing for a reverse Return to the 2<sup>nd</sup> Boiler to provide a balanced use.

The Return to the Boilers shall be fitted with an inline filter as by BoilerMag Model XL line size or similar approved.

PREFERRED BOILER OPTIONS SHALL BE :

1. Hamworthy Stratton2 S2-80
2. Worcester GB162-85

Or Similar Approved.

The Primaries shall be extended round the room and connected into a new 300L Thermal Multistore Buffer as by Flamco Flextherm PS-R300 (or similar approved), this buffer has multiple connection points as well as an integral Solar Coil. At Phase 1 the principle shall be to only use a Primary & Secondary F&R to each side of the buffer with all other outlets capped off and solar coil left redundant, for future extension & use. Buffer shall require direct Drain Off to allow for these future adaptations and the expansion linked to Primary Flow or Buffer (use of spare direct). It is assumed the existing expansion vessel shall be re-used, this should be tested and reported prior to re-connection a PC Sum allowance for new if necessary is within the Tender Costing.

Allow to connect to the new system buffer Autopressurisation Unit located from the 2<sup>nd</sup> Room to pressurise the LTHW system to 1.2bar min. A PC Sum allowance for new if necessary is within the Tender Costing.

The Secondary F&R from the Buffer to the building system shall re-use the existing system pump and controls mainly found within 2<sup>nd</sup> Room prior to being distributed round the building. There is no intention of altering the existing system at this phase stage.

Gas system shall be tested and proved, the existing safety system will require adaption and extension to cover the new boilers in the 1<sup>st</sup> room. Extend line size gas supply through from the 2<sup>nd</sup> to 1<sup>st</sup> Room, sleeved through wall and sealed, allow for 28mm 'T' off to each boiler with IV and test point prior to connection into boiler.

Allow for a new Medem (or equal approved) Boiler Room Panel to be located within 1<sup>st</sup> Room with additional shut off button fitted in 2<sup>nd</sup> Room, suitable sensors shall be located above the new boilers for cut out as well as within each room for Gas Sensing to provide full coverage of both areas.

All Gas works shall be tested and certified by a fully qualified and registered commercial engineer.

The proposal shall mean significant alteration to the present plantroom layout but this will simplify rather than effect, the 2<sup>nd</sup> Room will leave allowance for the potential use of providing a Hot Water Source in the Future for the localised WCs.

The present control panel shall be programmed and re-used to accommodate the new boilers and system buffer.

The Mechanical contractor shall ensure no dead legs, all redundant pipework and equipment is cleared from site.

On completion of the new works the whole system shall be tested, suitably chemical dosing to suit and run up for 1hr to maximum output. The system shall then be checked throughout the building and reasonably balanced through the existing valves. Any emitters or areas found to be poor shall be noted and recorded.

The system shall be re-tested and suitable chemical dosing at final commissioning, the existing Dosing Pot shall be re-used within the system.

Once suitably tested & commissioned allow for insulation of all LTHW Heating pipework, lagging shall be a min. 50mm Foil Faced Mineral/Rock Wool with suitable ID tape to prove direction at each bend and 1.5m distance. All Valves shall be numbered and labelled with Taffolite etched connector and A4 System Legend mounted to the wall of the 1<sup>st</sup> Room. A simple Plantroom Schematic shall be provided to A3 size showing the new system layout and design again mounted to 1<sup>st</sup> room wall.

## 2.13 Ventilation

The existing Passive Ventilation is to be re-used Mechanical Contractor is to check and measure suitability, the new Gas Panel shall allow for sensor controls.



## 2.14 DWS Services

MCWS to comply with BS6700 EN806-5, WRAS, CIBSE Guidelines and Building Regulations. Installation shall be carried out & certified by qualified WRAS approved registered operative.

Other than adaption to localised pipework there is no other intended works to the DWS at this stage.

## 2.15 Grey & Rain Water Service

NA

## 2.16 Above Ground Foul Drainage

All systems are to comply with BS EN12056 & 752, BS8000 part specific, CIBSE guidelines as well as current Building Regulations.

It shall be the Mechanical Installers responsibility to design the new soil & waste system(s).

All drainage pipework with branch & anti-siphonage should be MUPVC to most current standard BS5255 requirements as manufactured by Polypipe or equal.

Allowance shall be made to adapt the existing High Temperature sparge wastes from the 2no. New Boilers and Buffer DO to the existing waste system only.

## 2.17 Below Ground Foul Drainage

NA

## 2.18 Rain and Surface Water Drainage

NA

## GENERAL WORKMANSHIP AND MATERIALS

This section is to describe the specifications general requirements for all mechanical plant, installation & equipment that may not be commented in the above specific items.

### 2.1.1

#### Pipework

For the LTHW & DWS shall be either copper in accordance with BS EN1057-R250 with all solder & flux to be non-corrosive to BS ENISO9454 or plastic multilayer pressfit systems to BS EN DVTA, as required for DWS all pipework and connections shall be WRAS approved.

For the REFRIDGERANT shall be to BS1306 BS EN13480 with installers REFCOM or CITB approved.

For the SOIL & WATSE pipework shall be MUPVC, PVC or ABS and meet BS EN1452:2000 with in general all solvent welded other than any requirements for expansion.

Pipe runs shall be horizontal & vertical only and correct setting out to make allowance for insulation and avoidance of transfer with due attention for future maintenance.

Pipes shall be fitted in a correct method to allow for cutting, reaming, free from burrs, rust, scale, any defects and thoroughly cleaned throughout the installation.

Joints will not be accepted within any wall or floor thickness and only in the ceiling where accessible should it be necessary.





Where any pipes pass through walls, floors or ceilings these pipes shall be metal sleeved flushed to the edges and sealed with suitable fire-resistant sealant around their edge to a maximum diameter of 45mm there after suitable fire collars shall be used.

All materials stored on site shall be the contractor's liability as well as the care to prevent any damage or corrosion. Any installed pipework showing damage or corrosion shall be marked and required to be removed from site and replaced.

Pipework shall allow for minimum grading to allow for adequate venting & drainage and be supported at recommended regulatory distances, in this instant this shall be;

For Horizontal pipework upto 32mm size every 1.2m

For Vertical pipework upto 32mm size every 1.8m

Where there maybe a combined bracketing system suitable structural channel system as by Unistrut shall be used with any bracket extended further than 250mm using a minimum 10mm rod upto 450mm.

Any bracketing exceeding these requirements will require a structural solution from the manufacturer.

## 2.1.2

### Valves & Equipment

In general all supplied parts shall comply to British Standards kitemark as a guide refer to as follows;

- Isolation Valves to BS5154
- Regulating Valves to BS7350
- Safety Valves to BS EN150 4126
- Pressure Reducing Valves to BS4126
- 
- 
- Commissioning Valves to BS1092
- Non-Return Valves to BS EN1092 & WRAS as required
- Stop cocks to BS EN1074-2
- Back Siphonage Valves to BS6282

## 2.1.3

### Air Distribution

All ductwork materials, installation & construction shall comply to HVCA DW144 regulations and guidelines set out there in.

All steel ductwork shall be galvanised sheet steel to BS EN10143.

All PVC plastic ductwork shall comply with HVCA DW154 to BS3757 where required.

Volume Control Dampers shall be fitted to comply with DW144 and enable effective balanced and regulated ventilation without generating any undue noise.

Fire Dampers shall be fitted where ductwork transitions between alternate rooms these shall be based on fusible links which shall release at 75°C unless detailed or specified otherwise at this stage there is no recognised requirement for any fire rated ductwork.

External terminations shall comply with BS EN485 and be constructed of non-corrosive materials, backdraught, vermin & flyscreening shall be fitted to each outlet Supply & Extract.

## 2.1.4

### Noise

It is essential that all mechanical equipment and functioning is adequately designed to reduce noise levels both internally and externally.

Attenuation shall be to BS EN10142 and internally be located as closely as possible to the Supply & Extract stabs from the Ventilation equipment. Additional attenuation shall be located at external termination points to reduce any noise to external areas to a level of 42dB @ 3m.

All Ductwork, Grilles & Diffusers associated with the ventilation design shall be sized to ensure low resistance levels so that they are able to function at 60% with only 25dB noise level @3m, this shall be taken into account when fitting VAVs to the system.

Final connections from ductwork shall be by flexible connection to a maximum length of 600mm to provide additional noise reduction from functioning plant.

Anti-vibration mountings and pads shall be fitted to all mechanical equipment throughout to dampen or remove any potential resonance from equipment to the internal areas.

Construction attenuation shall be part of the architect's construction plans.



## 2.1.5

### Insulation

All insulation carried out shall comply with BS5970 and BS5422. All insulation material shall be non-corrosive in particular to ferrous & non-ferrous metals, it shall be fire resistant and non-combustible as well as free from odour under no circumstances shall any insulation require use of CFC or HCFC's.

DWS & LTHW pipework shall be insulated to a minimum effective 12mm.

Refridgerant pipework to a minimum 15mm.

Ventilation to Supply Fresh Air Intake ductwork to a minimum 50mm.

MCWS & Harvest Water to a minimum 18mm.

It is determined the Main contractor and there Mechanical & Electrical contractors shall co-ordinate the design and works required to base this specification on. It is essential that all trades understand the plant & equipment to be installed and the necessary installation requirements.

All works at high level must be carried out in a safe working practice with compliance to all HSE criteria.

Where necessary the contractors shall be represented at programmed site meetings and provide any calculations or drawings to suit their design.



## APPENDIX A

### MECHANICAL CONTRACT TENDER SUMMARY CHICHESTER CC – PLANTROOM PHASE 1

ITEM	DESCRIPTION	COST Ex.Vat
1.0	Preliminaries, Design & Management	
2.1	Supply & Installation of Plantroom Equipment (to include Boilers, Pump Sets & Valves)	
2.2	Supply & Installation of Thermal Buffer	
2.3	LTHW Heating Works	
2.4	LTHW Flushing & Chemical Treatment	
2.5	Gas Works	
2.6	Gas Panel & Sensors	
2.7	Above Ground Foul Drainage	
2.8	Controls & Mechanical Equipment Wiring (Note comments in section 3.0)	
2.9	Testing & Commissioning	
2.10	Record Drawings + O&Ms	
2.11	Practical Handover & Demonstration	
	PC Sums	
1.10	Unforeseen Allowances	250.00
1.11	New Expansion Vessel	500.00
1.12	New Auto-Pressurisation Unit	1250.00
	<b>GRAND TOTAL £</b>	

PLEASE NOTE THE FOLLOWING CLIENT REQUIREMENTS :-

In compliance with Standing Orders (local authority rules) we need to invite a minimum of three contractors to quote. Said tenders must be submitted in plain, sealed envelopes marked "TENDER" followed by the subject to which it relates (Phase 1 2<sup>nd</sup> Flr Plantroom Boiler Replacement). The envelopes need to be addressed as follows;

The Town Clerk  
Chichester City Council  
The Council House  
Chichester  
PO19 1LQ

Tenders shall be received by Thursday 21<sup>st</sup> July 2022

The tenders are then to be held unopened by the Town Clerk until the appointed date/time then opened in the presence of the Town Clerk and Chairman or Vice Chairman of the Finance Committee.

APPOINTED DATE TO BE OPENED AFTER MIDDAY ON Friday 22<sup>nd</sup> July 2022



**SECTION 3.0**

**ELECTRICAL REQUIREMENTS**

ITEM	DESCRIPTION
3.0	General
3.1	Scope of Works
3.2	Regulations
3.3	Description of Works
3.4	Internal Lighting & Control
3.5	External Lighting & Control
3.6	Small Power Services
3.7	AV & Comms
3.8	Fire Alarm
3.9	Building Security System



## 3.0 General

All Works shall comprise of the entire Labour and all necessary materials to form a complete operational installation, to include Testing & Commissioning of all specified systems installed under the project specifications.

All works carried out within this project specification and contract shall be to the complete satisfaction of the Specification Engineer or Consultant. All works shall conform to the most recent standards & regulations and be carried out by fully qualified and competent tradesmen.

It shall be deemed the Contractor has visited site prior to commencing any works to ensure he is satisfied with site conditions & proposed works in relation to the site.

The Technical Specification shall be read in conjunction with any schedules, schematics and associated drawings should they be noted or attached with this specification.

## 3.1 Scope of Works

The following description is intended to provide an indication of the works required, it is not intended to be comprehensive in all details and read in conjunction with any Electrical Drawings Specified.

- a) Inspection of Site
- b) New Small Powers (part only)
- c) Testing & Commissioning

## 3.2 Regulations

All Works shall be carried out in strict accordance with all the Relevant Statutory Regulations and Codes of Practise to include the following;

- IE Wiring Regulations for Electrical Installations 18<sup>th</sup> Edition to BS 7671
- Electricity Safety, Quality and Continuity Regulations 2002
- Electricity at Work Regulations 1989
- SDNPA Dark Sky Compliance to E3 Criteria
- Health & Safety at Work Act and Regulations
- All Relevant British Standards & Codes of Practise
- CIBSE Lighting Guide 2017
- Nominated Fire Officer Requirements & Recommendations
- Building Regulations
- Fire Detection & Alarm Systems to BS 5839

## 3.3 Description of Works

The Electrical Contractor shall be deemed to have visited site to satisfy themselves of local conditions, layout and accessibility and any other items that effect the works detailed or within the tender. The Sub-Contractor shall be responsible for all preparations, material schedules & measurements necessary to carry out the contracted works. Any reason for insufficient knowledge will not be accepted.

All Works in this Section shall be to BS7657

Allow to adapt the existing power to accommodate the 2no. New Boilers and revised Plantroom equipment as per specified within Section 2.0.

Carry out test to cabling identified and report any results or concerns. It shall be assumed at this stage the current small power can be adapted and altered to suit the New Layout etc.

Suitable containment/conduit to suit the installation to BS 1363.

All appliances or switched fused sockets shall have isolation local to the appliance they are serving.

Allow for existing Fire Alarm to cover areas

Containment and Earthing for any avoidance of doubt where requiring sizing or in doubt shall comply to IE regulations BS7671.

All Earthing where fitted shall be visible or sheathed as an earth conductor using a Yellow/Green labelling with suitable stud or clamps used.



On completion of all works;

- Earth and Supplementary Bonding Installation shall have an Earth Continuity Test carried out, with all values listed on a suitable Test Sheet for each circuit.
- Distribution Panel/Board shall be labelled to suit, if required.
- Labelling in Black letters to switched spurs to indicate appliance relation
- Completion & Inspection Certificate shall be presented to the CA in a clear a legible context with supporting engineers identification & qualifications whom completed the Certificates.
- Allow for Handover to the Client.

### 3.4 Internal Lighting & Control

NA

### 3.5 External Lighting & Control

NA

### 3.6 Small Power Services

All sockets shall be positioned at 450mm from FFL, Midheight shall be 1200mm from FFL.

Dedicated Isolators & switched fused sockets shall be provided to New Boilers and Gas Panel with isolators located next to the relevant unit for repair & maintenance. All isolators shall have neon indication to them.

### 3.7 AV & Comms

NA

### 3.8 Fire Alarm

The Fire alarm and detection system shall be as existing

### 3.9 Building Security System

NA

PLEASE NOTE THE FOLLOWING CLIENT REQUIREMENTS :-

**In compliance with Standing Orders (local authority rules) we need to invite a minimum of three contractors to quote. Said tenders must be submitted in plain, sealed envelopes marked "TENDER" followed by the subject to which it relates (Phase 1 2<sup>nd</sup> Fir Plantroom Boiler Replacement). The envelopes need to be addressed as follows;**

**The Town Clerk  
Chichester City Council  
The Council House  
Chichester  
PO19 1LQ**

**Tenders shall be received by Thursday 21<sup>st</sup> July 2022**

**The tenders are then to be held unopened by the Town Clerk until the appointed date/time then opened in the presence of the Town Clerk and Chairman or Vice Chairman of the Finance Committee.**

**APPOINTED DATE TO BE OPENED AFTER MIDDAY ON Friday 22<sup>nd</sup> July 2022**



ELECTRICAL CONTRACT TENDER SUMMARY

CHICHESTER CC PLANTROOM PHASE 1

ITEM	DESCRIPTION	COST Ex.Vat
	It is assumed all necessary electrical works shall be allowed for and co-ordinated by the Mechanical Contractor costed within the Mechanical Tender Controls Costing	
	<b>SUB TOTAL £</b>	
	PC Sums	
	<b>GRAND TOTAL £</b>	

ANY NOTED or FORWARDING COMMENTS :-



*Mechanical & Electrical, Commercial & Industrial Engineers*

T: 01903 732842

W: [www.saunders-heating.co.uk](http://www.saunders-heating.co.uk)

M: 07721 868742

Unit 7 Minster Court, Courtwick Lane, Littlehampton, West Sussex, BN17 7RN

The Town Clerk

Chichester City Council  
The Council House  
Chichester  
West Sussex  
PO19 1LQ

21<sup>st</sup> July 2022

**For the attention of: The Town Clerk**

**Reference: Chichester City Council Phase 1 Mechanical & Electrical Services Tender**

Please find enclosed our completed tender document for the phase one works.

***Our total for the tender project for phase one would be £37,774.57 Plus Vat.***

We would strongly recommend that the new boilers are separated from the old system, utilising a plate heat exchanger. If you wish to add this to the installation, ***the additional cost would be £6192.13 Plus Vat.***

**Exclusions:**

- Out of hours work.
- Repairs to the old heating system.

**General Terms & Conditions:**

- All prices are net of VAT (see below for VAT invoicing).
- All prices are valid for a period of 30 days.
- Unless otherwise agreed in writing all invoices are strictly 28 days payment in full, no retention.
- A copy of our full Terms and Conditions is available upon request.

We trust the details are in accordance with your requirements, but should you need any further assistance please do not hesitate to contact us.

Assuring you of our best attention

Yours sincerely,

*Kevin Jarman*

HVAC Contract Manager

[kevin@saunders-heating.co.uk](mailto:kevin@saunders-heating.co.uk)





## APPENDIX A1

### MECHANICAL CONTRACT TENDER SUMMARY CHICHESTER CC – PLANTROOM PHASE 1

ITEM	DESCRIPTION	COST Ex.Vat
1.0	Preliminaries, Design & Management	430.00
2.1	Supply & Installation of Plantroom Equipment (to include Boilers, Pump Sets & Valves)	13,850.66
2.2	Supply & Installation of Thermal Buffer	2550.94
2.3	LTHW Heating Works	5175.97
2.4	LTHW Flushing & Chemical Treatment	1416.00
2.5	Gas Works	2950.00
2.6	Gas Panel & Sensors	1121.00
2.7	Above Ground Foul Drainage	250.00
2.8	Controls & Mechanical Equipment Wiring (Note comments in section 3.0)	5890.00
2.9	Testing & Commissioning	500.00
2.10	Record Drawings + O&Ms	1180.00
2.11	Practical Handover & Demonstration	100.00
	PC Sums	
1.10	Unforeseen Allowances	250.00
1.11	New Expansion Vessel	500.00
1.12	New Auto-Pressurisation Unit	1250.00
	<b>GRAND TOTAL £</b>	<b>37,774.57</b>

#### PLEASE NOTE THE FOLLOWING CLIENT REQUIREMENTS :-

In compliance with Standing Orders (local authority rules) we need to invite a minimum of three contractors to quote. Said tenders must be submitted in plain, sealed envelopes marked "TENDER" followed by the subject to which it relates (Phase 1 2<sup>nd</sup> Flr Plantroom Boiler Replacement). The envelopes need to be addressed as follows;

The Town Clerk  
Chichester City Council  
The Council House  
Chichester  
PO19 1LQ

Tenders shall be received by Thursday 21<sup>st</sup> July 2022

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**APPOINTED DATE TO BE OPENED AFTER MIDDAY ON Friday 22<sup>nd</sup> July 2022**

**Building Surveying | Conservation | M&E Design and Specification**

First Floor, The Leigh House, Rimpers Hill, Milford, West Sussex GU29 9BN

Coopers & Lysons Limited trading as Coopers&Lysons Registered in England and Wales. Company Number: 11836873

05/07/2022

Chichester City Council  
The Council House  
North Street  
Chichester  
PO19 1LQ

8 Erica Road  
Stacey Bushes  
Milton Keynes  
Buckinghamshire  
MK12 6HS  
United Kingdom

P: +44 (0)20 3355 9711  
E: mge.uk@mainmark.com

[www.mainmark.com/uk](http://www.mainmark.com/uk)

mainmark

## MAINMARK Ground Engineering (UK) Ltd PRODUCT WARRANTY

**Job Reference No:** UK22-518

Levels Correction works at  
The Council House, North Street, Chichester, West Sussex, PO19 1LQ

**MAINMARK Ground Engineering (UK) Ltd** warrants to its Client Chichester City Council that for a period of not less than **twenty** (20) years from the date of first injection, being 04/07/2022 to the area shown on the accompanied injection plan at The Council House, North Street, Chichester, West Sussex, PO19 1LQ that (the section of) the element below which injection took place, will not settle due to shrinkage or deterioration of the injection material.

Should significant settlement occur during the warranty period due to such shrinkage or deterioration, and as its sole liability under this Warranty, MAINMARK Ground Engineering (UK) Ltd will return to site and re-inject under that (section of the) element again once, providing injected material, both free of charge, with the intention of restoring it as close as possible to the position it was following completion of the original works. Such return works are otherwise subject to the contents of MAINMARK Ground Engineering's final accepted Quotation for the works, including annexures, and MAINMARK Ground Engineering's and the Client's engineer's agreed assessment of the structural situation.

Unless otherwise agreed in writing with the Client, this Warranty only comes into effect if all payments for the original works are/were made in complete accordance with the specific terms and conditions of MAINMARK Ground Engineering (UK) Ltd's aforementioned quotation.



Victor Chirilas  
Director

05/07/2022



**Waxman Energy Ltd**

Grove Mills  
Elland  
West Yorkshire HX5 9DZ

VAT Registration GB 640 6035 69

Phone No. 01422 374114

E-Mail

Home Page [www.waxmanenergy.co.uk](http://www.waxmanenergy.co.uk)

**Chichester City Council**Quote No. **Q/0049769**

Date 1. August 2022

Payment Terms **Payment required prior to despatch**

VAT Reg. No.

Bill-To Account No. ES/1002

Your Order Ref. **Solax Batteries & Charger**

Product No.	Description	Quantity	List Price	% Disc	Net Value
	***BATTERY STORAGE***				
SX-410800	X3-FIT-8.0 : Solax AC Charger - 8.0kW - 3 Phase (T)	1 No.	1,503.41		1,503.41
SX-501111	X-WIFI : SolaX Pocket Wi-Fi Dongle for X1 and X3 Inverters [Version 2.3]	1 No.	23.87		23.87
TP-111580	T-58 MASTER V1 : Triple Power 5.8kWh Master Battery with BMU	1 No.	2,000.86		2,000.86
TP-111581	T-58 SLAVE V1 : Triple Power 5.8kWh Slave Battery	1 No.	1,648.04		1,648.04
CH-03666	DTSU666 : Chint Three Phase DIN-Rail Meter	1 No.	94.72		94.72
LAB-10104	BAT-HAZ4 : Battery Hazard Label - Li-Ion - 230x90mm	1 No.	1.05		1.05
	***CARRIAGE***				
10314	Sales carriage UK 1 x standard	1	80.00		80.00



## Waxman Energy Ltd

Grove Mills  
Elland  
West Yorkshire HX5 9DZ

VAT Registration GB 640 6035 69

## APPENDIX C Sales Quotation

Page 2 of 2

Phone No. 01422 374114

E-Mail

Home Page [www.waxmanenergy.co.uk](http://www.waxmanenergy.co.uk)

### Chichester City Council

Quote No. **Q/0049769**

Date 1. August 2022

Payment Terms **Payment required prior to despatch**

VAT Reg. No.

Bill-To Account No. ES/1002

Your Order Ref. **Solax Batteries & Charger**

<b>Total GBP Excl. VAT</b>	<b>5,351.95</b>
20% VAT	1,070.39
<b>Total GBP Incl. VAT</b>	<b>6,422.34</b>

### Ship-to Address

Chichester City Council

Shipment Method Next Day Delivery - Tail Lift

This quote is valid for 14 days, however, we reserve the right to issue superseding revisions within this time. Stock availability cannot be guaranteed prior to receipt of a confirmed order.

Any order placed pursuant to this quotation shall be subject to the Waxman Energy Ltd standard terms and conditions of sale, a copy of which can be viewed at [www.waxmanenergy.co.uk/terms-conditions](http://www.waxmanenergy.co.uk/terms-conditions)

Waxman Energy Ltd accept no responsibility for the accuracy of any quantities calculated from drawings. It is the customers responsibility to check quantities prior to ordering.

All prices quoted are current and may change at any time without prior notification. Prices are based upon quantities indicated and may vary for lesser quantities.

Please Note: Items marked (T) are TO ORDER items and (C) are CLEARANCE Items



# QUOTATION

SKY HOUSE, RAANS ROAD, AMERSHAM, HP6 6JQ

Q42883 - CSA001

The Council House North Street  
Chichester PO19 1LQ

29/07/2022

Client: Chichester City Council  
Prepared by: Ed Reid  
Your contact: Martin Volker /01825 703688 / martin.v@iqglass.group

## APPENDIX D

Item	Description	Qty	UoM	Rate		Total
<b><u>Budget Quotation</u></b>						
<b>Our price includes:</b>						
<b>Design</b>						
<b>Supply</b>						
<b>Installation</b>						
↓ <b><u>Single Glazed Pivot Doors</u></b>						
1.00	<b>1500mm wide x 2650mm high</b> - Frameless effect Internal single glazed double pivot door set with 1nr fixed toplight - door height is 2000mm - lockbox and stainless base rail included. Patch fixings to support toplight - <i>toplight arched shaping included</i>	3	item	£	9,627.24	£ 28,881.72
↓ <b><u>Single Glazed Partitions</u></b>						
2.00	<b>1400mm wide x 2650mm high</b> - Frameless effect Internal fixed single glazed system, comprising 1nr arched shaped pane. Stainless base rail included	5	item	£	6,990.02	£ 34,950.10
↓ <b><u>Extra over costs</u></b>						
3.00	For solar control glass to items 1.00 and 2.00 - 34.2m2	1	item	£	2,624.92	<i>Optional</i>
4.00	Heat soak testing of glass panels - 34.2m2 - This is to significantly decrease the risk of spontaneous glass breakage due to a non-detectable inclusion being present within the body of the glass.	1	item	£	524.99	<i>Optional</i>
↓ <b><u>Preliminary Items, Drawings and Transport</u></b>						
5.00	Installation, project management, 1nr site & access survey, material trolleys, site parking, access equipment, travel & congestion/toll charges, storage of goods at the IQ warehouse for 2 weeks & transport of goods to site. All scaffold & access towers/equipment is deemed to be supplied by the client/contractor	1	item	£	2,347.34	£ 2,347.34
6.00	Technical CAD drawings for technical/ structural glass items. All window and door products will be supplied with standard material production drawings without any interface with the building structure	1	item	Included		<i>Included</i>
7.00	Deliveries to UK (site) - 1nr HI-AB delivery to site and 1nr flat bed to collect the empty stillages from site included.	1	item	£	2,147.99	£ 2,147.99
↓ <b><u>Useful hyperlinks</u></b>						

- [Completed residential projects](#)
- [Completed commercial projects](#)
- [IQ in the media](#)
- [Brochure download](#)
- [Showroom information](#)

**This is a trade/ discounted quotation. Our quotation is valid for 30 days.**

**Lead times/  
Manufacture  
periods:** **Single Glazed Pivot Doors/ Invisio Structural Glazing -  
Approx. 8-12 weeks from approved sizes/ drawings  
and receipt of second staged payment.  
Drawing preparation from deposit payment - Up to 15  
working days. Site survey will take place after  
drawing/ detail approval.**

<b>Quotation total</b>	<b>Excluding VAT    £    68,327.15</b>
------------------------	--

### Quotation clarifications below

*No allowance has been made for aluminium/ lead flashings unless detailed above.*

*We reserve the right to adjust item prices if items are omitted from the quotation - This is mainly as we share costs such as fitting costs across the various items costed.*

*We have made no allowance for access towers and we have assumed that these will be provided by others where required.*

*We have assumed that clear sufficient access routes have been provided for IQ Glass operatives to manually handle the materials to the necessary installation points.*

*We have made no allowance for matching of glass compositions of different systems. Glass compositions will vary across different items and products (standard practice)*

*No allowance has been made for any associated steelwork or covering steelwork with flashings unless clarified above.*

*We have made no allowance for shaped glass units and assumed that all openings will be true and square unless items are clarified as shaped above.*

*No allowance has been made for a crane should a crane be required to complete the installation. No allowance is made for vertical distribution within our quotations unless clarified. Cranes can be provided to us if they are required or we can arrange for a crane survey to be conducted post appointment.*

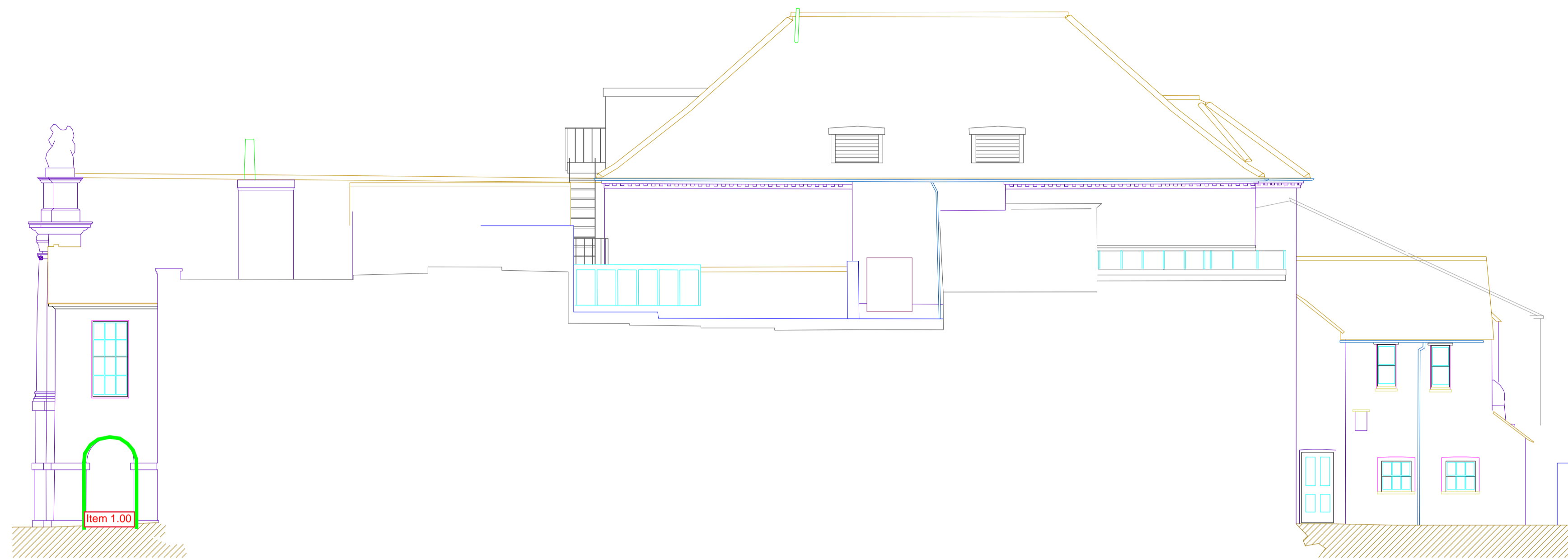
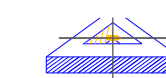
*Casement windows/ doors - No allowance has been made for restrictors or trickle vents unless clarified above. Please request these to be included if they are required.*

*Any non classic RAL colour will warrant an additional cost (204 classic RAL colours are available). Structural glass frames are black as standard to match structural silicone.*

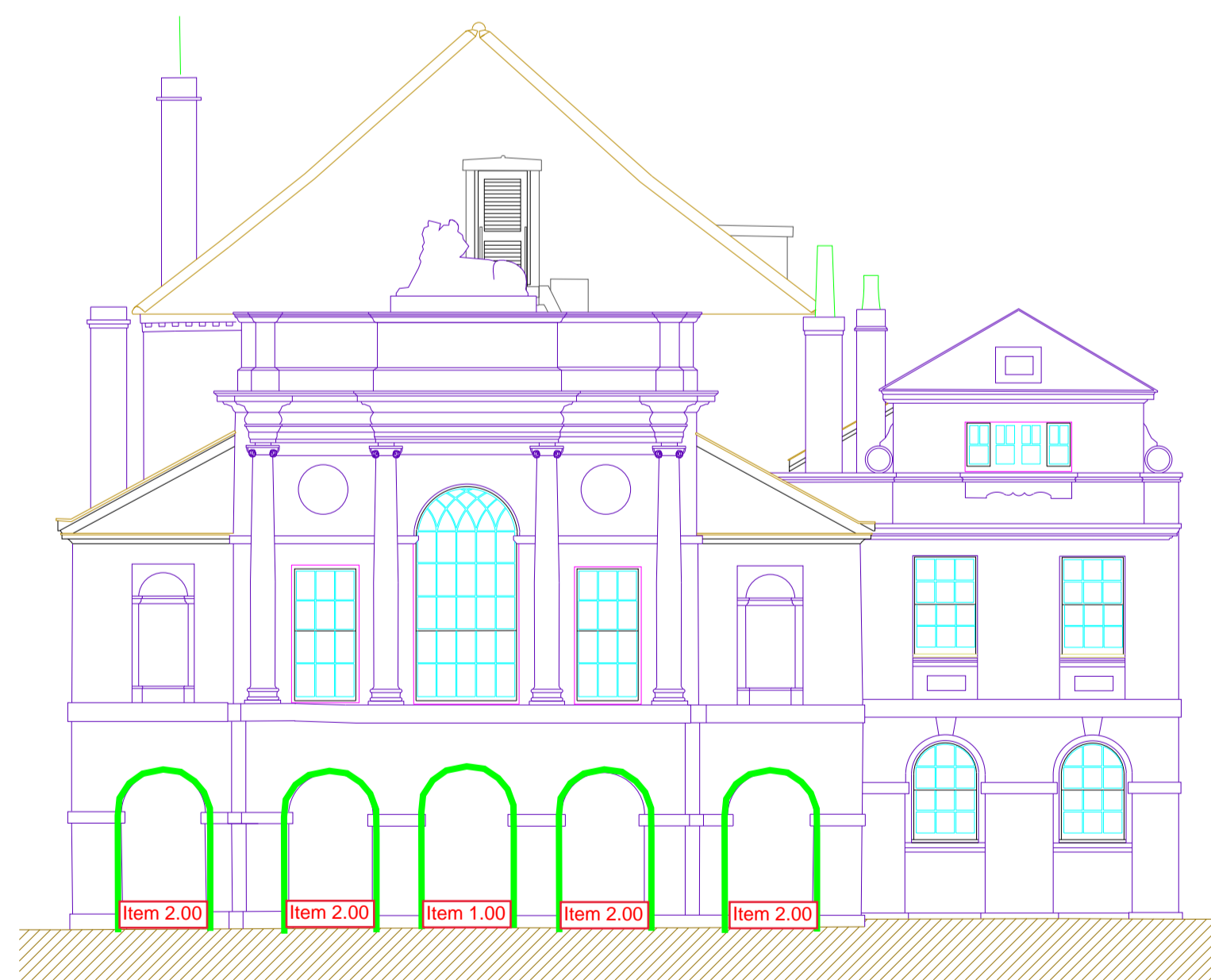
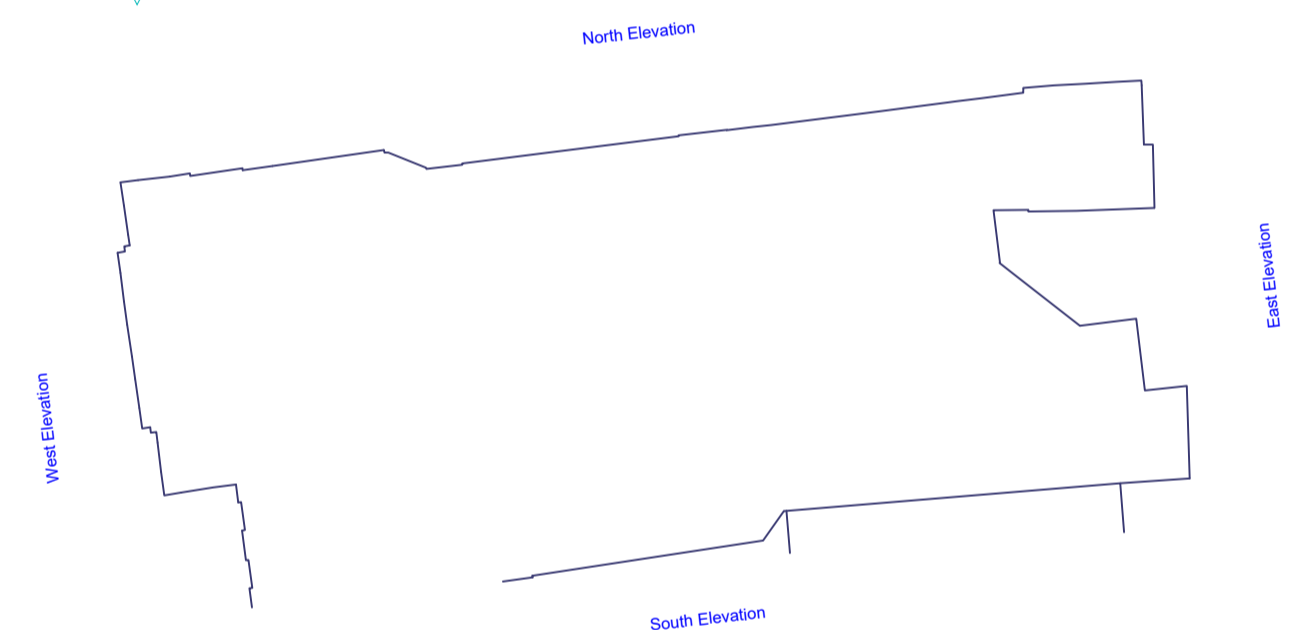
*Please check all dimensions are correct before proceeding. We have scaled from drawings and have not been provided with detailed schedules or dimensioned drawings.*

*We have assumed a wind load of 0.65 KN/M2. We will require the project structural engineer to confirm the wind load to us/ to confirm whether our assumed wind load is sufficient. Our prices may change if the wind load is beyond the assumed wind load stated above.*

*This is a trade/ discounted quotation. Our quotation is valid for 30 days.*



Datum 48.00m  
The Council House - South Elevation



Datum 48.00m  
The Council House - West Elevation

Legend

	Buildings		
	Glass Roof (Greenhouse)		Heights and spread indicative only (Species Subject to Confirmation)
	Down pipes		Leaning Tree
	Survey Station		Hedges
	Banks		Canopy Line
	Spot Levels (Metres)		Walls (Width Drawn To Scale)
	Steps		Fences
	Gate		Sapling

Abbreviations (where applicable)

BT	Telecom cover		
CBF	Closed board fence		
G	Gully		
Ic	Inspection cover		
Jb	Junction box		
Lp	Lamp post		
P&W	Post and wire fence		
PSR	Post and rail fence		
Re	Recess		
Rs	Road sign		
St	Water stop tap		
Sv	Water stop valve		
Sw	Stag wire		
Sw	Storm water drainage run		
Tp	Telegraph pole		
UTL	Unable to lift (inspection cover)		
Wm	Water meter		
			Floor level
			Suspended ceiling
			Structural ceiling height
		AH	Access Hatch
		BH	Beam height
		BR	Boiler
		Co	Column
		DB	Door Base Ht
		DH	Door Head Ht
		EI	Electricity distribution panel
		EXF	Extractor Fan
		Sp	Soil down pipe
		F-S	Spring height
			Windows/Doors:
		SWF	F-C Floor to Cill height
		CLF	C-H Cill to Head

Copyright in this drawing remains with ADA Solutions Ltd.  
This survey has been carried out at an accuracy commensurate with the scale shown on the title block of the drawing. Enlarging the drawing by digital means will not increase the accuracy of the survey.

Taking dimensions from the drawing in not recommended and measurements for design/construction should be taken from the digital version only although a scale rule can be used for basic layout and check measurements.

Any discrepancies found must be reported to ADA Solutions Ltd immediately.

Survey control information

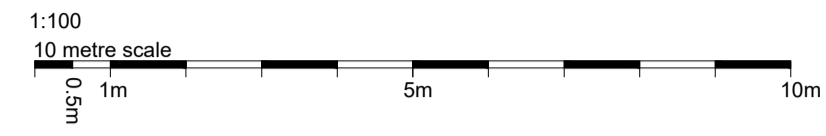
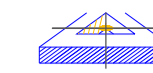
Levels based on an arbitrary 50 meters, taken at survey control station (S1)  
Survey stations are based on an arbitrary grid of 500metres East and 1000metres North, at station (A)

Site Address :

The Council House  
North Street  
Chichester  
PO19 1LQ

Client :	Chichester City Council		
Date	Sept 2019	Project:	Elevations
Drawing Number :	0919-FA5-E100-b-A1		
Drawn by :	Checked:	Scale	At A1



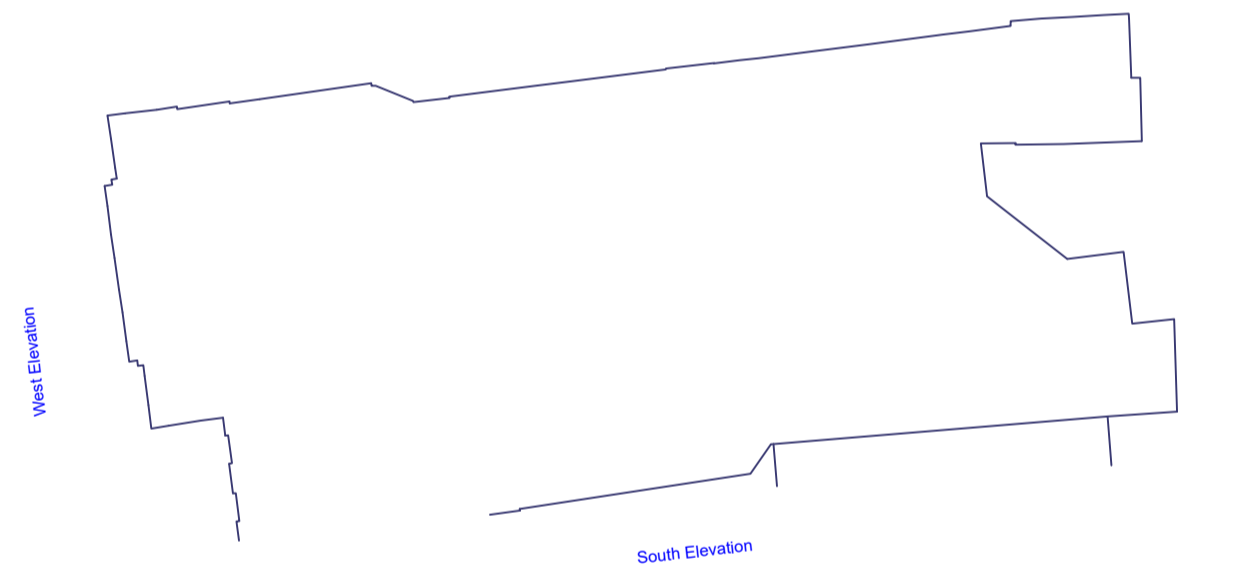


Datum 48.00m

The Council House - North Elevation



North Elevation



West Elevation

South Elevation

East Elevation



Datum 48.00m

The Council House - East Elevation

Legend

	Buildings		Glass Roof (Greenhouse)	Heights and spread indicative only (Species Subject to Confirmation)
	Down pipes		Leaning Tree	
	Survey Station		Hedges	
	Top/Banks		Canopy Line	
	Spot Levels (Metres)		Walls (Width Drawn To Scale)	
	Steps		Fences	CLF 1.5h
	Gate		Sapling	

Abbreviations (where applicable)

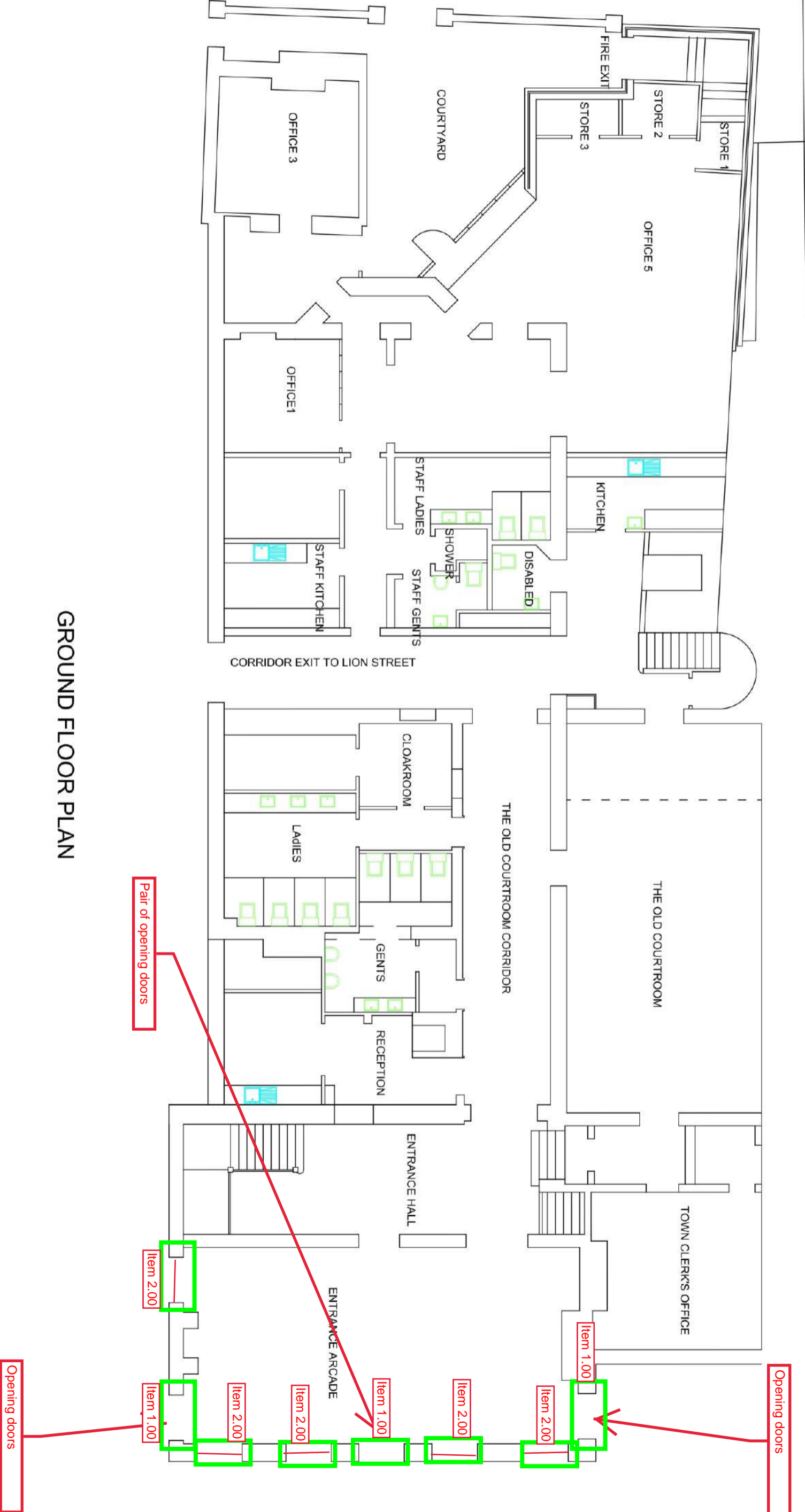
BT = Telecom cover	CBF = Closed board fence	Cw = Rain water drainage run	G = Gully	Ic = Inspection cover	Jb = Junction box	Lp = Lamp post	P&W = Post and wire fence	PSR = Post and rail fence	Re = Recess	Rs = Road sign	St = Water stop tap	Sv = Water stop valve	Sw = Staywire	Sw = Storm water drainage run	Tp = Telegraph pole	UTL = Unable to lift (inspection cover)	Wm = Water meter	Floor Plans/Elevations		Floor level		Suspended ceiling		Structural ceiling height	
BARBED WIRE	CLOSED BOARD	CHAIN LINK	CHESTNUT PALING	CHICKEN WIRE	IRON RAIL	INTERWOVEN	LARCH LAP	POST & CHAIN	POST & RAIL	POST & WIRE	WIRE MESH	SWF	CBF	CLF	CPF	CWF	IRF	IRF	LLF	PCF	PRF	PWF	VMF	F.C. Floor to Cill height	C.H. Cill to Head
AH = Access Hatch	BH = Beam height	BR = Boiler	Co = Column	DB = Door Base Ht	DH = Door Head Ht	Ei Det = Electricity distribution panel	EXF = Extractor Fan	Sdp = Soil down pipe	F-S = Spring height	Windows/Doors:															

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This survey has been carried out at an accuracy commensurate with the scale shown on the title block of the drawing. Enlarging the drawing by digital means will not increase the accuracy of the survey.  
Taking dimensions from the drawing is not recommended and measurements for design/construction should be taken from the digital version only although a scale rule can be used for basic layout and check measurements.  
Any discrepancies found must be reported to ADA Solutions Ltd immediately.

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Drawn by :	Checked:
Scale	At A1



GROUND FLOOR PLAN



Primmer Olds B&S

# FOR SALE APPENDIX E

FORMER CADET HALL SUITABLE FOR A VARIETY OF  
USES / DEVELOPMENT OPPORTUNITY

CADET HALL, EAST ROW, CHICHESTER, WEST SUSSEX, PO19 1PR

## KEY FEATURES

- Potential Residential Conversion (Subject to Planning)
  - Positive pre-application (2020)
- (Existing) Net Internal Area: 275.8 sq.m (2,968 sq.ft)
  - Site Area: 0.102 acres
- Guide Price: £595,000 subject to contract
- Grade II Listed Building
- Offers end date: TBC



Primmer Olds B-A-S

Mountbatten House, 1 Grosvenor Square, Southampton, Hampshire, SO15 2JU  
Enquiries: Call us on 023 8022 2292



CALL US ON 023 8022 2292 | WWW.PRIMMEROLDSBAS.CO.UK

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# CADET HALL, EAST ROW

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## DESCRIPTION

The property is located in Chichester, a cathedral city in West Sussex, in South-East England. The subject property occupies a position on East Row situated just off East Walls. Local amenities include independent and high street retail shops, along with popular places to eat and drink. Chichester mainline railway (0.8miles) provides excellent commuter routes to major cities such as Portsmouth, Southampton and London Victoria.

This desirable 2 storey building is a Grade 2 listed property with list entry number 1191948. The Listing describes the property as Mid C19 warehouse building, consisting of flint with red brick dressings and eaves cornice.

The site also provides a stretch of outside space, ideal for parking cars, with a gated frontage for additional security. Alongside the main building there is a single storey unit that covers the entire western side of the title, which is currently used as a rifle range, where we believe this structure could provide even more parking/amenity space for the proposed dwellings.

## PLANNING

A pre-application was submitted in 2020 for the proposal of converting the Grade II listed building into 4 residential dwellings. The response shows a clear scope for a development opportunity for someone looking to build high quality conversions in a highly soughtafter cathedral city location. The site is considered sui generis and any intended buyer needs to make their own enquiry regarding any potential uses.

## TENURE

Freehold

## TERMS

Offers considered in the region of £595,000 subject to contract for the freehold interest with vacant possession on completion.

The property is to be sold on an un-conditional basis. The contract will provide for an overage based on alternative use as residential

## VAT

We understand the VAT is not applicable on the purchase

## RATES

Rateable Value To be assessed

Source – voa.gov.uk

The 2022/2023 standard multiplier is 0.499 (49.9p payable per £1). This determines what business rates are payable. All parties are advised to make their own enquiries for confirmation.

## EPC

Asset Rating TBC

## MONEY LAUNDERING

Please note all prospective purchasers will need to be verified for 'Anti Money Laundering' purposes prior to issuing memorandum of agreed terms of sale.

# APPENDIX E



VIEWING & FURTHER INFORMATION: CALL 023 8022 2292

These details are provided for general information purposes and whilst every effort has been made to ensure accuracy, no responsibility is taken for any errors or omission or miss-statement in these particulars. Noting in these details constitutes an offer or contract. No responsibility or warranty whatsoever is made during negotiations by the agent, seller or lessor. All plans provided are for identification only and are not to be scaled or to be relied upon. No services have been tested and no warranty is given on their existence or condition. All interested parties are required to carry out their own due diligence. Prospective purchasers or tenants should verify any stated planning use in these particulars with Local Planning Authority and should satisfy themselves that their proposed use is compatible with planning requirements. Unless otherwise stated, all prices and rents are quoted exclusive of Value Added Tax (V.A.T.). Any intending purchasers or lessees must satisfy themselves independently as to the incidence of V.A.T. in respect of any transaction. No part of this document should be re-produced or transmitted without the prior written consent of the agent.



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# CADET HALL, EAST ROW

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# APPENDIX E



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